

City of Foster City

ESTERO MUNICIPAL IMPROVEMENT DISTRICT

610 FOSTER CITY BOULEVARD
FOSTER CITY, CA 94404-2222
(650) 286-3200
FAX (650) 574-3483

MAR 9 1 2008



**BUILDING PERMIT IS REQUIRED
NOT APPROVED FOR CONSTRUCTION**

CITY OF FOSTER CITY
COMMUNITY DEVELOPMENT DIRECTOR'S ACTION
NOTICE OF DECISION

APPLICATION RECEIVED: February 29, 2008

APPLICATION COMPLETE: February 29, 2008

ACTION DATE: March 5, 2008

CASE NO.: UP-75-018II (supersedes UP-75-018EE dated August 1, 2007)

OWNER: Whalers' Island Homeowners' Association

OWNER ADDRESS: Mulqueeney & Assoc., P.O. Box 4726, Foster City, CA 94404

APPLICATION FOR: Garage Door Prototype Amendment

LOCATION: Whalers' Island Planned Development

ZONING: R-1/PD (Single Family Residence/Planned Development) District

ACTION TAKEN: Approved with Conditions

On the date listed above, the Community Development Director of the City of Foster City, took the action described above on the subject Architectural Review application based on the following findings:

1. That the proposal to modify the prototype design for replacement garage doors for residential units in the Whalers' Island Planned Development, as conditioned in Exhibit A and illustrated in Exhibit B and Exhibit C, is consistent with the Foster City General Plan and Title 17, Zoning, and Chapter 2.28, Planning, of the Foster City Municipal Code because the proposed prototypical design will maintain the existing appearance of residential units in the development, will allow for necessary maintenance and repair of houses and garage doors, will preserve "the quality of the City's residential neighborhoods" as stated in the Land Use and Circulation Goal (LUC-A) and Land Use Policies (LUC-38 and LUC-39) contained in the Land Use and Circulation Element of the Foster City General Plan, and will be consistent with the residential use of the residences in the development and the Whalers' Island Planned Development Prototypical Guidelines.
2. That the design of the proposal is appropriate to the City, the neighborhood and the lot in which it is proposed because the design, colors, and materials of the prototypical garage door replacement will be compatible with the architectural style, character, and proportions of residential units in the development and they will be in keeping with similar improvements in the neighborhood.
3. That the design of the proposal is compatible with its environment with respect to use, forms, materials, colors, setbacks, location, height, design, or similar qualities as specified in Section 17.58.010, Intent and Purpose, of Chapter 17.58, Architectural Control and Supervision, of the Foster City Municipal Code because 1) the prototypical designs for garage doors will provide guidelines to ensure that garage door replacements are orderly and consistent for all residential

units in the development, and therefore, the overall architectural style and characteristics throughout the planned development will be preserved; and 2) the size of the replacement doors will be the same size as the existing doors;

4. That the proposal will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be injurious or detrimental to property and improvements in the neighborhood or the general welfare of the City because the prototypical design will ensure that all residential units maintain similar architectural characteristics, will meet the requirements of Section 17.58.010, Intent and Purpose, of Chapter 17.58, Architectural Control and Supervision, of the Foster City Municipal Code, and will not have detrimental visual impacts on the neighborhood, the Whalers' Island Planned Development, or the property values in the area.

This action is subject to any conditions contained in Exhibit A, attached.

Expiration

Any Architectural Review or Use Permit Modification approval shall, without further action, become null and void if not used within two (2) years from the date of approval thereof, or within any shorter or longer period of time if so approved by the Community Development Director.

Appeal

Pursuant to Section 17.06.150 of the Foster City Municipal Code, an action of the Community Development Director on an application may be appealed within ten (10) calendar days after the date of the Community Development Director's decision, in writing, to the Planning Commission. Appeals may be filed using the appeal form available in the Community Development Department or by letter. There is a fee for filing an appeal. All appeals must be filed in accordance with Section 17.06.150.

Acknowledgment by Applicant

Pursuant to Section 17.58.040.E of the Foster City Municipal Code, any Architectural Review or Use Permit Modification decision shall not be effective until the permittee acknowledges acceptance of any conditions of approval and any appeal period has lapsed, or if there is an appeal, until a final decision has been made on the appeal.

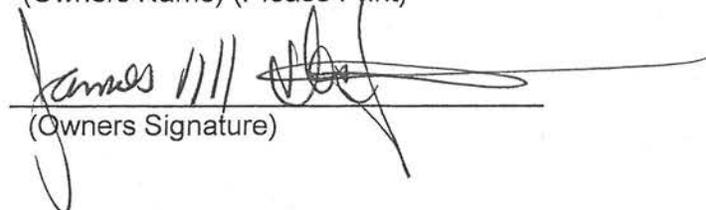
In order to demonstrate that you are aware of and understand the Architectural Review or Use Permit Modification conditions of approval (attached hereto as Exhibit A), please sign the original of this letter and return it to the Planning/Code Enforcement Division. Please keep the duplicate for your records.

Sincerely,



Richard B. Marks
Community Development Director

Whalers' Island HOA
James M. Desjardins, VP
(Owners Name) (Please Print)



(Owners Signature)

Planners Initials: kas

EXHIBIT A
WHALERS' ISLAND HOMEOWNERS' ASSOCIATION
Prototypical Design Guidelines for Garage Doors
March 5, 2008

The following guidelines shall govern the installation of replacement garage doors in the Whalers' Island Planned Development:

CONDITIONS OF APPROVAL

1. All construction shall be designed, constructed, installed, and maintained in a professional manner.
2. All materials and colors shall be as approved. Once constructed or installed, all improvements shall be maintained in accordance with the approved plans. Any changes which affect the exterior character of the work shall be resubmitted for approval.
3. Standard residential security requirements as established by Section 15.28.100, Business and Residential Security – Minimum standards, of Chapter 15.28 of the Foster City Municipal Code shall be provided.
4. Prior to any final building inspection approval, any imposed conditions and all improvements shall be completed to the satisfaction of the City.
5. This approval shall supercede all previous prototype approvals for garage doors.

New Garage Doors

6. The new garage doors design shall be consistent with either of the following: 1) the same design as the original garage doors or 2) a raised panel sectional door with 4 or 5 sections in height, as shown in Exhibit B, attached.
 - a) The doors shall be made of 1) wood to match the siding of the house; 2) wood grained composite; or 3) wood grained metal.
 - b) Raised panels are limited to 4 equal panels across.
 - c) Windows will be allowed by not required, as long as they conform to one of several approved window styles as illustrated in Exhibit B, attached:
 - i) Starburst styles similar to Martin Sunset, Sherwood or Horizon series;
 - ii) Rectangular styles similar to Martin Ranch Designer, Ranch Virginian, Victoria or Lancaster with not more than seven (&) window sections, four (4) sections are preferable.
 - d) There can be only one row of windows, in the top section.
 - e) Glazing will be non-reflective, no colored glass. UV inhibiting tint is acceptable.
 - f) All doors shall be painted to match the exterior of the house, except where the house has a white trim, a white door will be acceptable.
 - g) All custom designed doors shall be individually reviewed by the Whaler's Island Homeowner's Association on a case-by-case basis and subject to an Architectural Review Permit reviewed by the Community Development Director.

Replacement Garage Doors

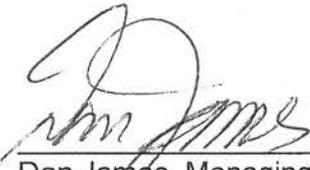
7. The replacement garage doors design shall be a 4-panel wide by 3-panel high design as shown in Exhibit C, attached.
 - a. The doors shall be made of wood to match the siding of the house.
 - b. Windows will be allowed but not required, as long as they conform to the approved window style as illustrated in Exhibit C, attached.
 - c. There can be only one row of windows, in the top section.
 - d. Glazing will be non-reflective, no colored glass. UV inhibiting tint is acceptable.
 - e. The garage doors shall be painted or stained a color to match the exterior of the house.

APPROVAL PROCESS

1. The homeowner or contractor shall apply for a Building Permit from the Building Inspection Division and shall submit any required drawings and fees.
2. The Planning/Code Enforcement Division staff will review the Building Permit application to confirm that the proposal is consistent with the prototypical design approved for front entry gates.

APPROVAL PROCESS FOR A CUSTOM DESIGNED DOOR

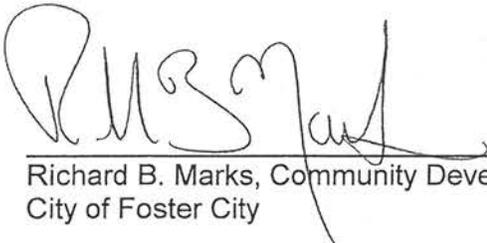
1. The homeowner or contractor shall apply for an Architectural Review Permit and shall submit the following:
 - A letter from the Whalers' Homeowners Association (HOA), indicating their action on the proposal.
 - Three copies of photographs or elevations indicating the location and size of the window(s).
 - Manufacturers brochure indicating the color and material of the frames.
 - Indicate the type of frames that will be used around the windows.
2. The homeowner or contractor shall apply for a Building Permit from the Building Inspection Division and shall submit any required drawings and fees.
3. The Planning/Code Enforcement Division staff will review the Building Permit application to confirm that the proposal is consistent with the prototypical design approved for front entry gates.



Dan James, Managing Agent
Mulqueeny & Associates for
Whalers' Island Homeowners' Association

3/27/08

Date



Richard B. Marks, Community Development Director
City of Foster City

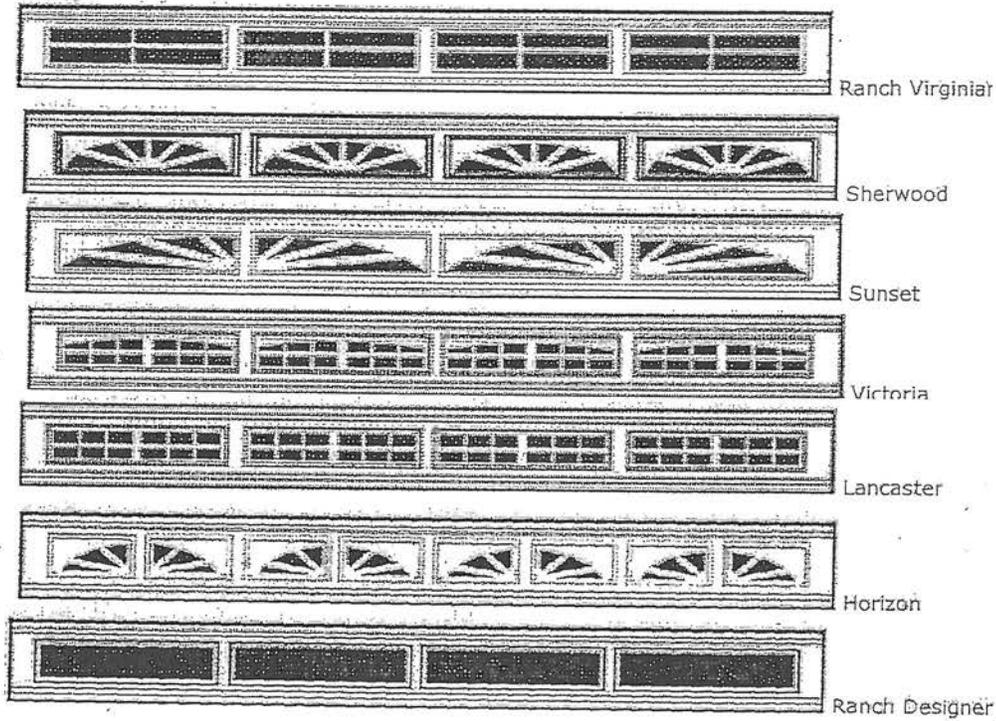
3/31/08

Date

NEW DOORS - EXHIBIT B

Whalers Island Approved Garage Door Window Styles

Windows do not have to match exactly, but need to be similar enough in design.
This should allow for variation from one manufacturer to another.



FOSTER CITY
RECEIVED

JUL 19 2005

PLANNING
DIVISION

UP-75-018Z
CITY OF FOSTER CITY
PLANNING DEPARTMENT

JUL 20 2005

JJC
ADMINISTRATIVE APPROVAL
WITH CONDITIONS

Rem

UP-75-018EE
CITY OF FOSTER CITY
PLANNING DEPARTMENT

AUG 01 2007

ADMINISTRATIVE APPROVAL
WITH CONDITIONS

SKB

Kohar Kojayan

From: David Kramar [david.kramar@gmail.com]

Date: Wednesday, July 14, 2010 2:06 PM

To: Kohar Kojayan

Cc: dan james

Subject: Garage Door Prototype Modification

Kohar,

Per our conversation please make the following change and amend our garage door prototype to include the barn door style door with 4 panels across with the top of each panel having 2 groups of 4 panes each a total of 8 sections of window across the top of the door. The window configuration is a modification to exhibit C currently on record.

Thank you

Dave Kramar

WIHA

Other Similar Designs

ESSEX Street



Gloucester Street

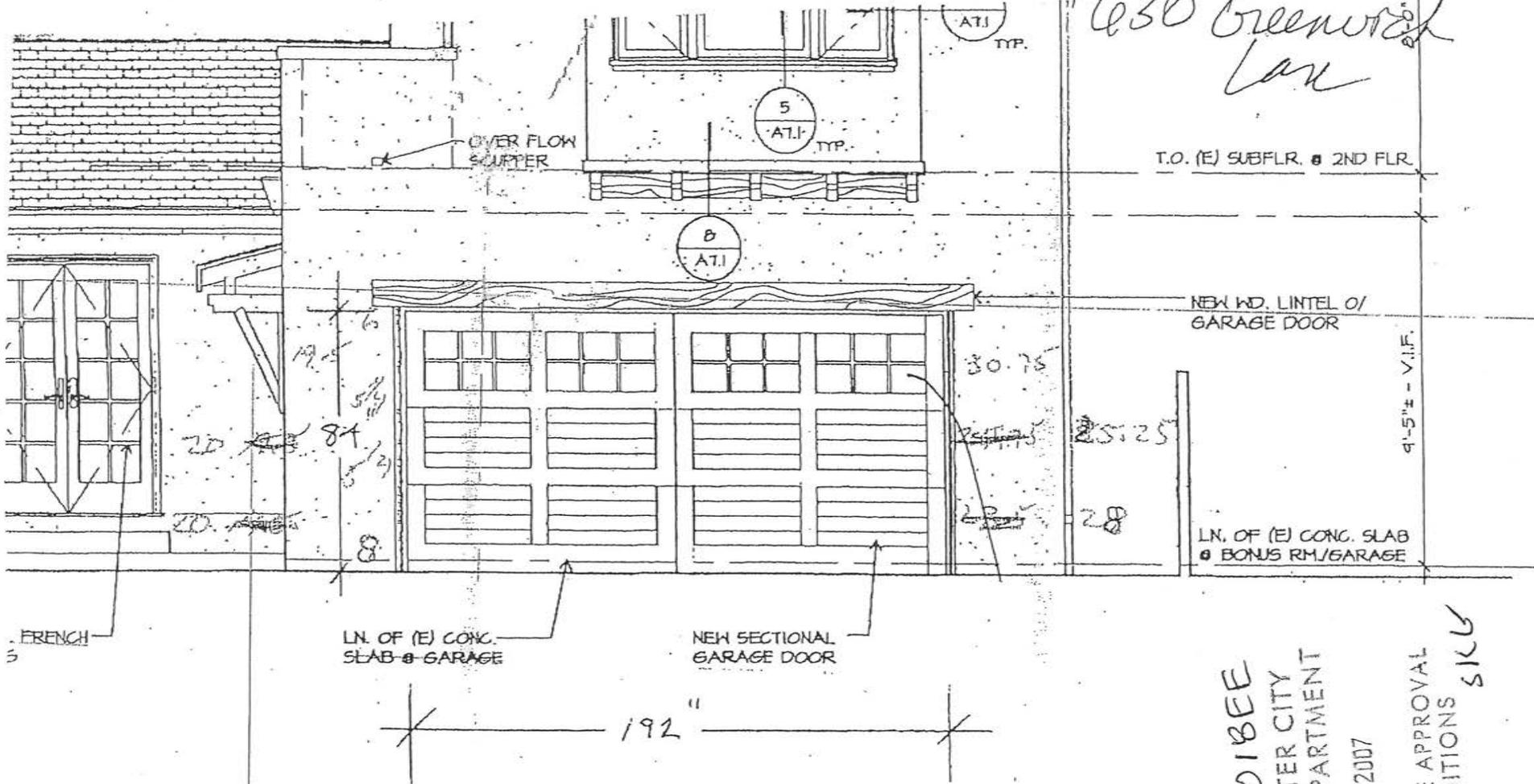


Approved design. - 8 squares on top.

4

REPLACEMENT DOORS - EXHIBIT C

Yvonne Ryzak
630 Greenwood
Law



5/2007 23:48 FAX 8508979603

HELMIG CONSTRUCTION, INC

FOSTER CITY RECEIVED
 JUL 27 2007
 PLANNING DIVISION

all Cedar to match home
yes windows

WP-75-018EE
 CITY OF FOSTER CITY
 PLANNING DEPARTMENT

AUG 01 2007

ADMINISTRATIVE APPROVAL
 WITH CONDITIONS

RS