

City of Foster City

ESTERO MUNICIPAL IMPROVEMENT DISTRICT

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FOSTER CITY
RECEIVED

APR 17 1995

PLANNING
DIVISION

CITY OF FOSTER CITY
COMMUNITY DEVELOPMENT DIRECTOR ACTION
NOTICE OF DECISION

ACTION DATE: March 22, 1995

CASE NO.: UP-75-018H

APPLICANT: Whalers Island and Cove Homeowners Association, ACC

APPLICANT ADDRESS: 1081 Alameda, #100, Belmont, CA 94002

APPLICATION FOR: Bay Window Prototype

LOCATION: Whalers Island and Cove Planned Developments

ZONING: R-1/PD (Single-family Residential/Planned Development)

ACTION TAKEN: Approved with Conditions

On the date listed above, the Community Development Director of the City of Foster City, took the action described above on the subject Architectural Review application based on the following findings:

1. That the proposal is consistent with the Foster City General Plan and Title 17, Zoning, and Chapter 2.28, Planning, of the Foster City Municipal Code because the new bay window(s) will result in an attractive appearance for the house, will provide additional/modified light and ventilation for the house and will be consistent with the residential use of the subject property.
2. That the design of the proposal is appropriate to the City, the neighborhood and the lot in which it is proposed because the new bay window(s) will be compatible with the architectural style, character and proportions of the existing house and will be in keeping with similar improvements in the neighborhood.
3. That the design of the proposal is compatible with its environment with respect to use, forms, materials, colors, setbacks, location, height, design, or similar qualities as specified in Section 17.58.010, Intent and Purpose, of Chapter 17.58, Architectural Control and Supervision, of the Foster City Municipal Code because the new bay window(s) will complement the size, shape, size, colors and materials of the existing doors and windows of the house as required by the City's adopted Architectural and Solar Guidelines.

4. That the proposal will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, and will not be injurious or detrimental to property and improvements in the neighborhood or the general welfare of the City because the new bay window(s) will be compatible with the design of the house and the neighborhood and will not have any detrimental visual or privacy impacts on the adjacent properties and/or the streetscape as required by Section 17.58.010, Intent and Purpose, of Chapter 17.58, Architectural Control and Supervision, of the Foster City Municipal Code.

This action is subject to any conditions contained in Exhibit A, attached.

Expiration

Any Architectural Review approval shall, without further action, become null and void if not used within two (2) years from the date of approval thereof, or within any shorter or longer period of time if so approved by the Community Development Director.

Appeal

Pursuant to Section 17.06.150 of the Foster City Municipal Code, an action of the Community Development Director on an application may be appealed within ten (10) calendar days after the date of the Community Development Director's decision, in writing, to the Planning Commission. Appeals may be filed using the appeal form available in the Department of Planning and Development Services or by letter. There is a fee for filing an appeal. All appeals must be filed in accordance with Section 17.06.150.

Acknowledgement by Applicant

Pursuant to Section 17.58.040.E of the Foster City Municipal Code, any Architectural Review decision shall not be effective until the permittee acknowledges acceptance of any conditions of approval and any appeal period has lapsed, or if there is an appeal, until a final decision has been made on the appeal.

In order to demonstrate that you are aware of and understand the Architectural Review conditions of approval (attached hereto as Exhibit A), please sign the original of this letter and return it to the Planning Division. Please keep the duplicate for your records.

Sincerely,



fr Richard B. Marks
Community Development Director

for Paul Strong Mgr. WILSON TRAVIS HOA
(Applicant) (Please Print)

Planners Initials M. Fodge

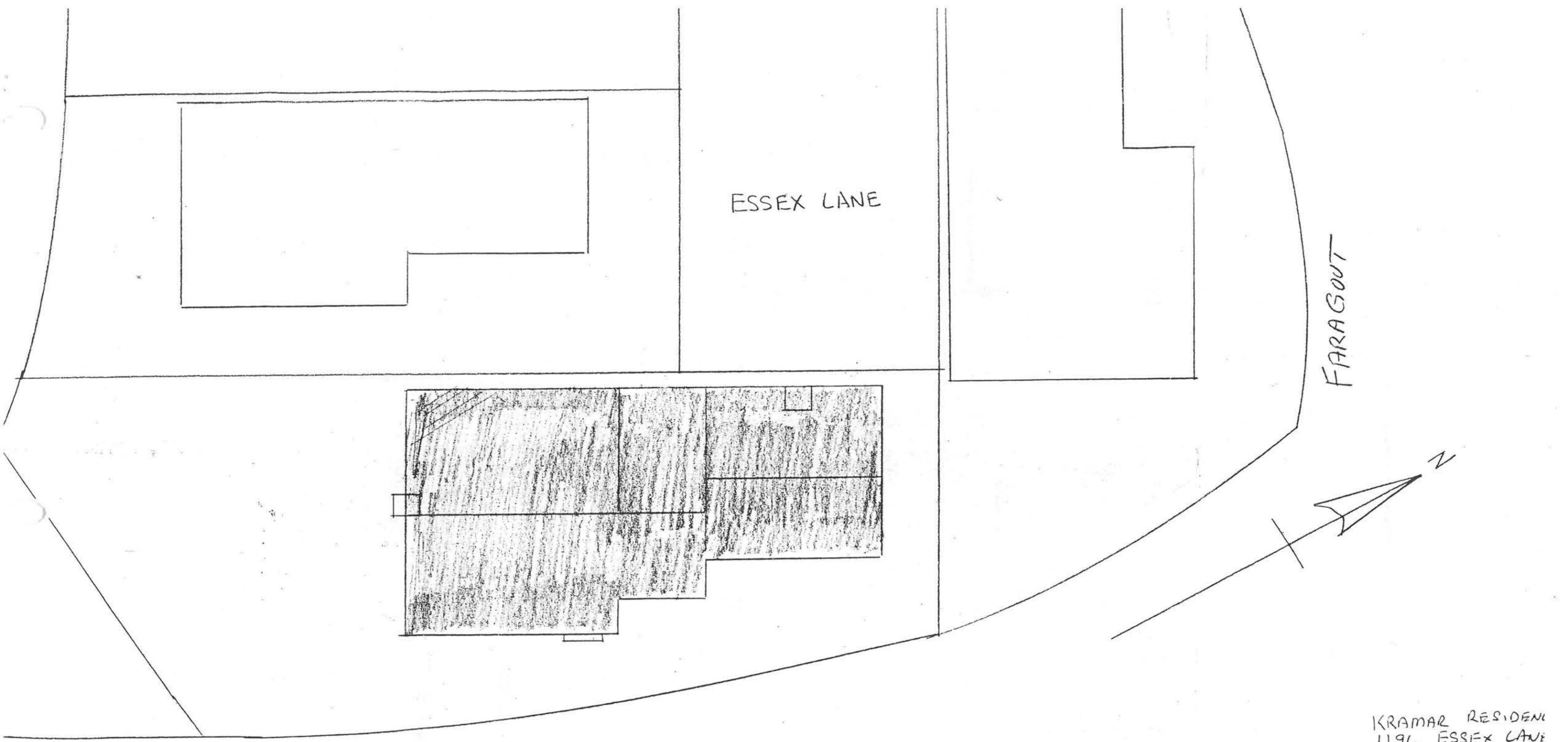
by PAUL STRONG
(Contact Person)

EXHIBIT A

(Conditions attached to Architectural Review approval
by the Community Development Director on March 22, 1995)

1. All construction shall be designed, constructed, installed and maintained in a professional manner and appearance.
2. All materials and colors shall be as approved. Once constructed or installed, all improvements shall be maintained in accordance with the approved plans. Any changes which affect the exterior character of the work shall be resubmitted for approval.
3. All vents, gutters, downspouts, flashings, electrical conduits, etc. shall be painted to match the color of adjacent surfaces.
4. Standard residential security requirements as established by Chapter 15.28 of the Foster City Municipal Code shall be provided.
5. Prior to installation, a building permit shall be obtained from the Building Division. Four (4) sets of final drawings shall be submitted with the building permit application.
6. Prior to any final building inspection approval, any imposed conditions and all improvements shall be completed to the satisfaction of the City.
7. All architectural elements such as soffits, screens, etc., not shown or detailed on the plans shall be finished in a material and color in harmony with the exterior of the building.
8. The size of a bay window shall be a maximum of 48" in height x 72" in width.
9. Bay windows frame material may be wood, metal, or vinyl providing that it matches the existing window trims.
10. The header height of the bay window shall match the existing header heights as close as possible.
11. All bay window roofs shall have roofs constructed of materials to match those used on the house roof.
12. Bay windows shall be either clear or slightly tinted (non-reflective) double pane glass.
13. Soffits shall be finished with either rough sawn siding or siding to match that used on the house and shall be painted or stained to match the house.
14. Modifications to the bay window, during construction or anytime after final inspection of the window, shall require written approval of the City prior to construction.
15. The applicant shall comply with all standard conditions of approval required by the City.

16. Prior to issuance of a building permit, an Architectural Review permit shall be obtained from the Planning Division for each bay window with the following required materials and information:
- * Three copies of a scaled drawing of the elevation where the bay window is proposed, including the materials and colors and indicating the proposed dimensions of the window; or, photographs (minimum size 5" x 7") may be substituted for elevations if all information is provided.
 - * A copy of the review letter from the Whalers Island/Cove Homeowners Association stating the action taken on the proposed design of the bay window.
 - * When the bay window is located on a side yard, an Architectural Review Notification Form(s) from all adjacent property owners are required. These forms are available in the Planning Division office and can be mailed to applicants.
 - * A completed application form.
 - * A \$17.50 fee (one-half the typical fee for a window)



ESSEX LANE

FARAGOUT

DEWEY

KRAMAR RESIDENCE
1196 ESSEX LANE
FOSTER CITY

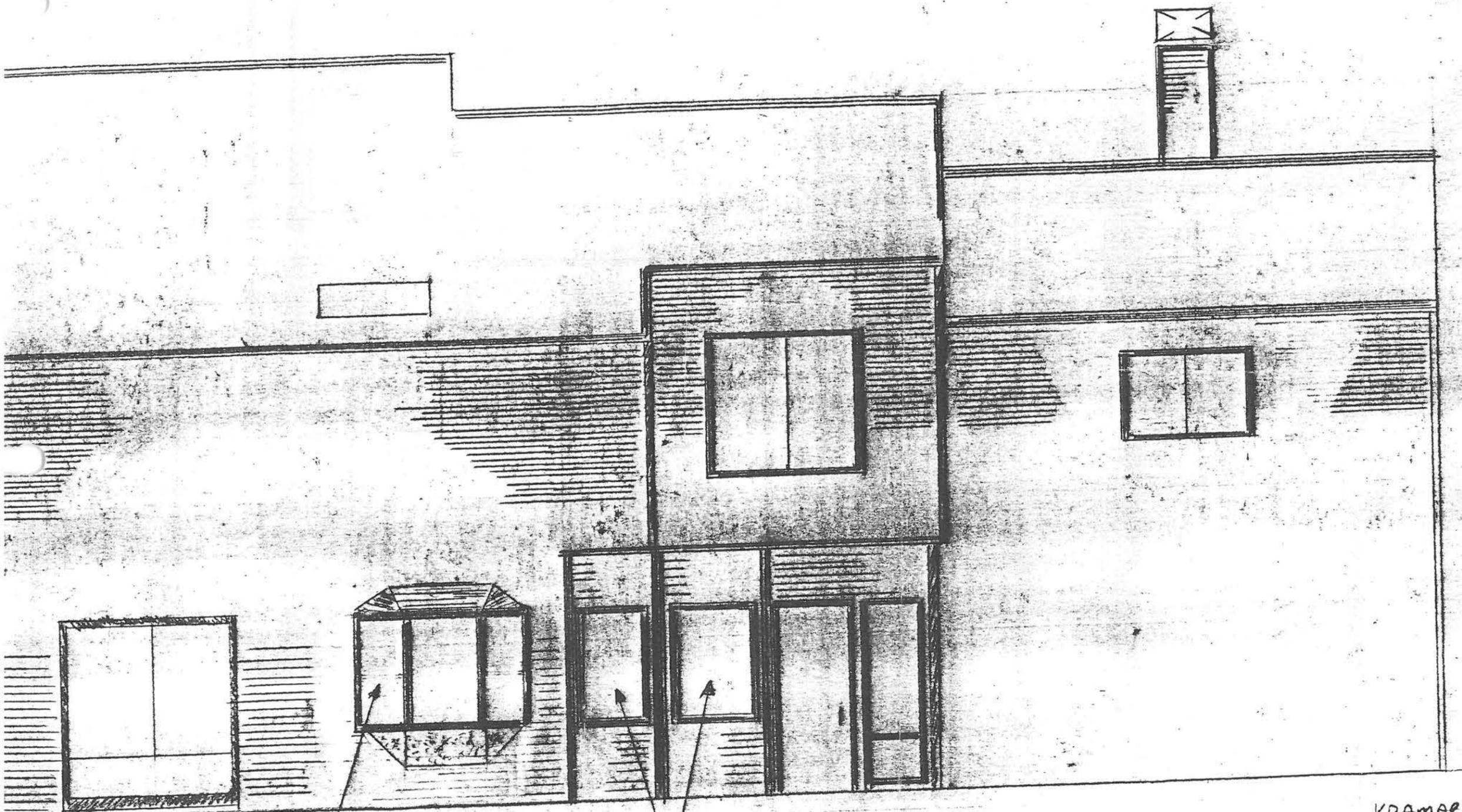
CITY OF FOSTER CITY
PLANNING DEPARTMENT

MAR 22 1995

ADMINISTRATIVE APPROVAL
WITH CONDITIONS

UP. 75.018H

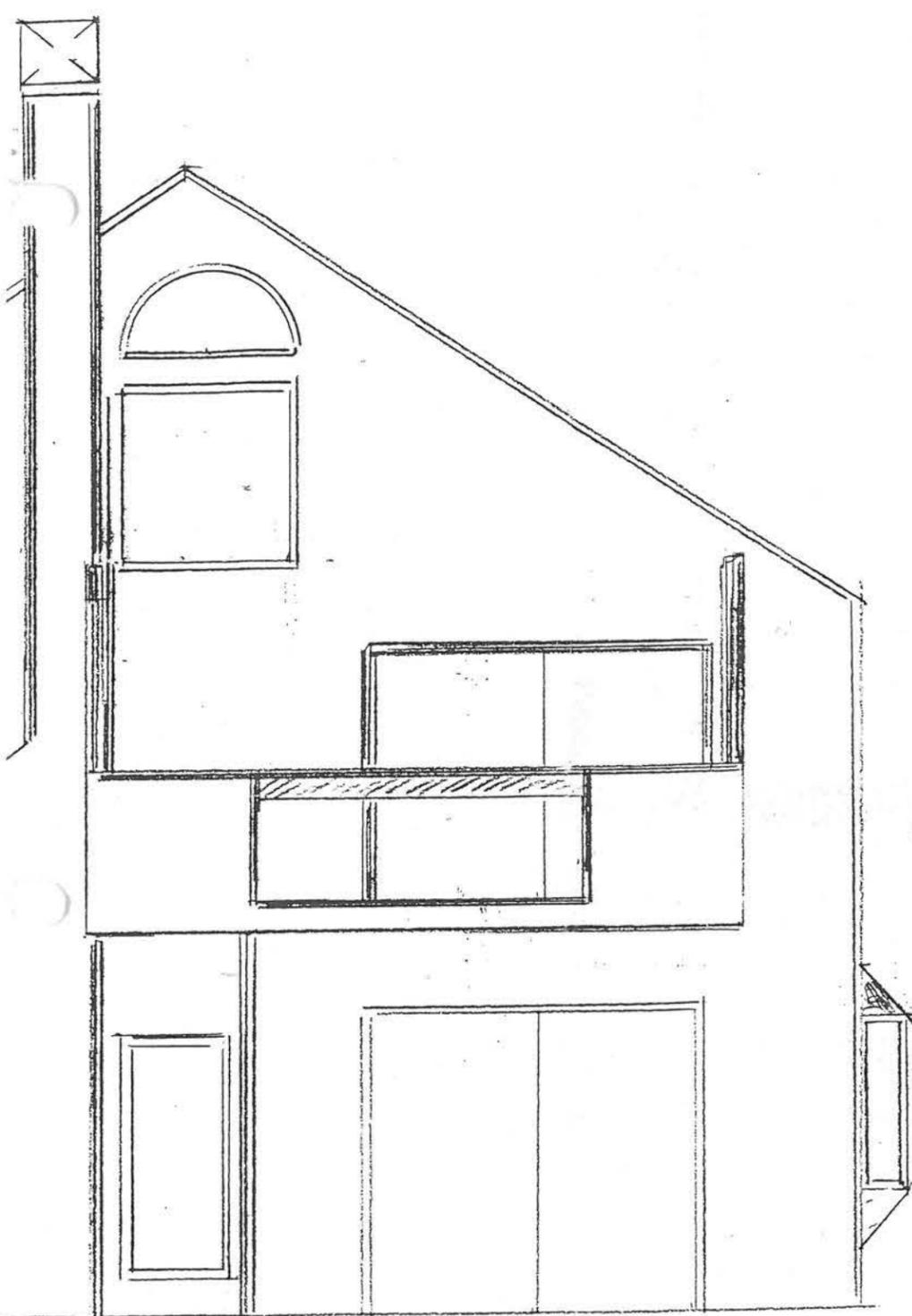
M. Folse



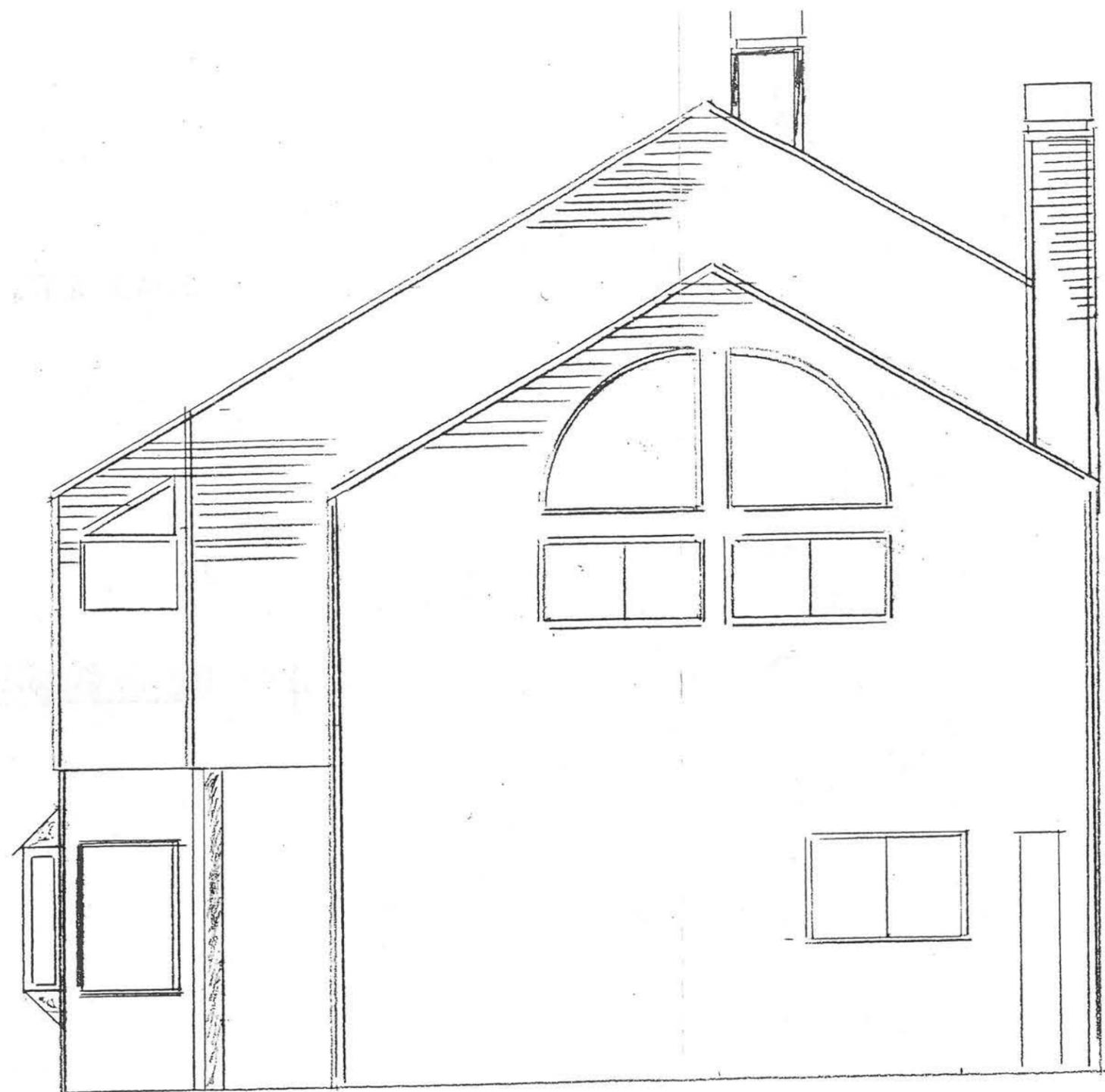
NEW BAY WINDOW

REPLACEMENT WINDOWS
SAME SIZE AND STYLE
FRONT ELEVATION
(DEWEY)

KRAMAR RESIDENCE
1196 ESSEX CANYON
FOSTER CITY



REAR ELEVATION



SIDE ELEVATION

KRAMAR RESIDENCE
1196 ESSEX LANE
FOSTER CITY